



**DEVELOPMENT PERMIT NO. DP001194**

**NANAIMO ORGANIC WASTE LTD**  
Name of Owner(s) of Land (Permittee)

**981 MAUGHAN ROAD**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT 23, SECTIONS 2 AND 3, RANGE 8, AND SECTION 9, NANAIMO DISTRICT, PLAN VIP63717**

**PID No. 023-493-402**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan**  
**Schedule B Site Plan**  
**Schedule C Building Elevations**  
**Schedule D Landscape Plan and Details**

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

**PERMIT CONDITIONS**

1. The subject property shall be developed in accordance with the Site Plan prepared by S2 Architecture., dated 2020-JUL-24 as shown on Schedule B.
2. The subject property is developed in substantial compliance with the Building Elevations and Details prepared by S2 Architecture., dated 2020-JUL-24 as shown on Schedule C.
3. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by Navagrah Landscape Architecture and Urban Design, dated 2020-JUL-23, as shown on Schedule D.

REVIEWED AND APPROVED ON

2020-AUG-27

Date



D. Lindsay, General Manager of Development Services

**Community Development**

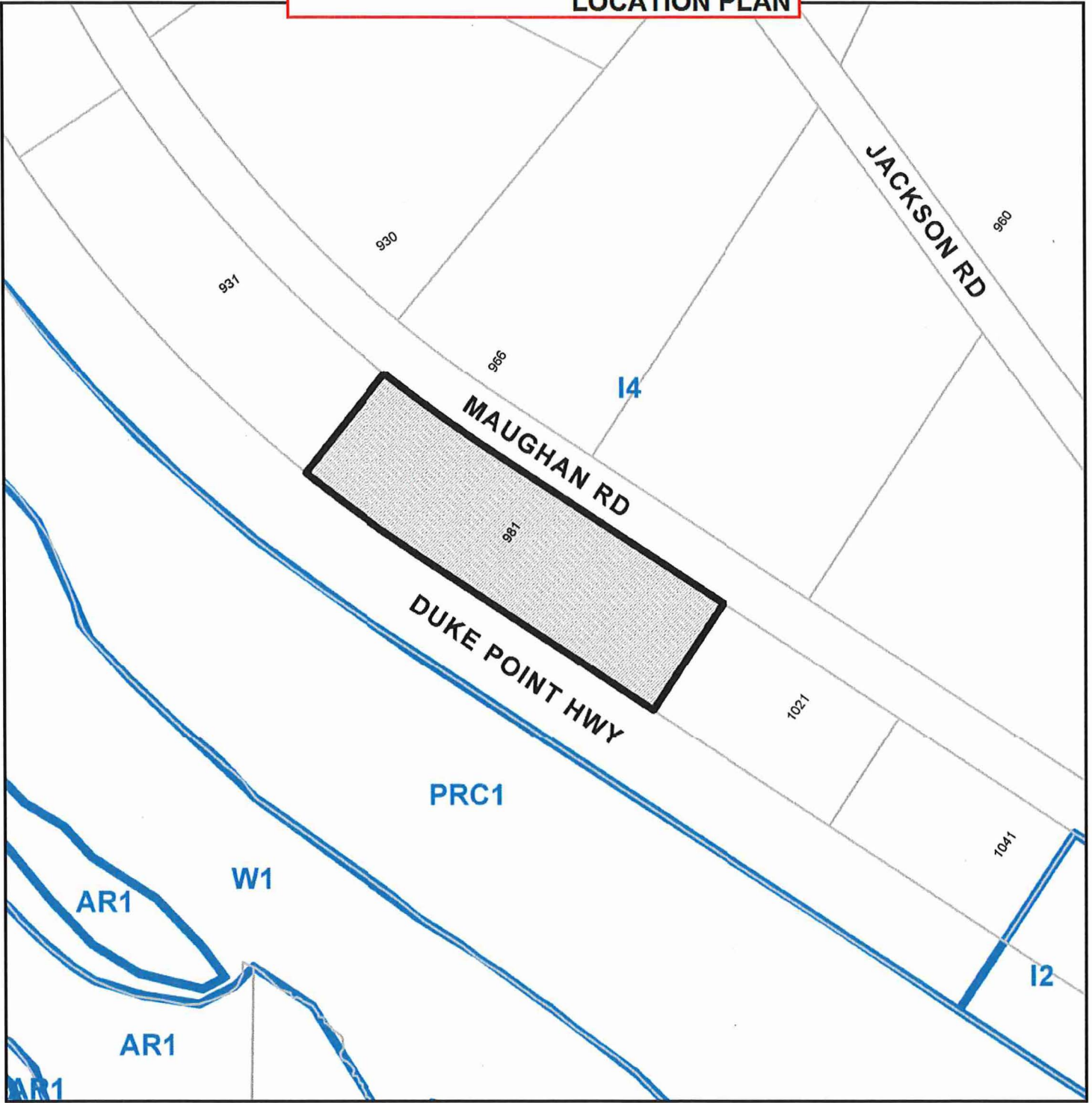
Pursuant to Section 154 (1)(b) of the Community Charter

LB/ln

Prospero attachment: DP001194

Development Permit DP001194    Schedule A  
981 Maughan Road

**LOCATION PLAN**



**DEVELOPMENT PERMIT APPLICATION NO. DP001194**

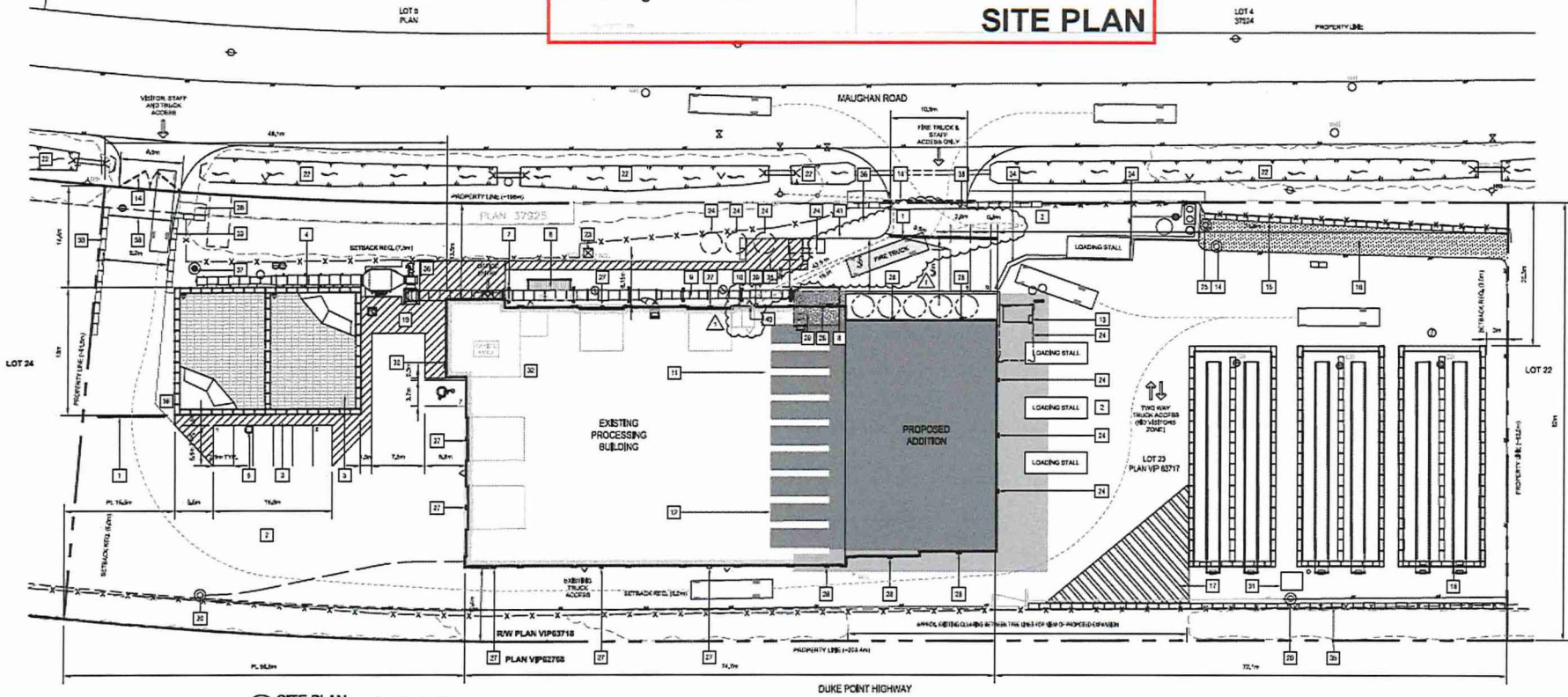


**Subject Property**

CIVIC: 981 MAUGHAN ROAD

LEGAL: LOT 23, SECTIONS 2, 3 AND 9, RANGE 8, NANAIMO DISTRICT, PLAN  
VIP63717





1 SITE PLAN  
AUG 12 2022

Landuse Bylaw Analysis

GROSS FLOOR AREAS  
 • EXISTING BUILDING 15992 m<sup>2</sup>  
 • NEW BUILDING EXTENSIONS 1893 m<sup>2</sup>  
 • NEW EQUIPMENT ENCLOSURES 4502 m<sup>2</sup>  
 • TOTAL NEW FOOTPRINTS 23427 m<sup>2</sup>

APPLICABLE BYLAWS  
 • CITY OF NANAIMO ZONING BYLAW 2011 NO. 4800  
 • OFF-STREET PARKING REGULATIONS BYLAW 2018 NO. 7265  
 • BUILDING BYLAW 2018 NO. 7224

13.1 USE CLASSIFICATION  
 • INDUSTRIAL I4  
 • THIS ZONE PROVIDES FOR HEAVY INDUSTRIAL DEVELOPMENT THAT IS NOT COMPATIBLE WITH RESIDENTIAL USES.

13.2 PERMITTED USES

• COMPOSITE FACE CITY

13.3 LOT SIZE AND DIMENSIONS

MIN. LOT AREA	MIN. LOT FRONTAGE	MIN. LOT DEPTH
REQUIRED 3,000 m <sup>2</sup>	15 m	45 m
PROVIDES 17,425 m <sup>2</sup>	189 m	62 m

13.4 SETTING OF BUILDINGS

FRONT YARD	SIDE YARD 1	SIDE YARD 2	REAR YARD
REQUIRED 3.00 m	6.00 m	5.00 m	5.00 m
PROVIDES 13.4 m	3 m	9 m	10.4 m

\*WHERE THE AREA BETWEEN THE FRONT FACE OF THE BUILDING AND THE FRONT PROPERTY IS LANDSCAPED AND NOT USED FOR PARKING.

13.6 SIZE OF BUILDINGS

REQUIRED	LOT COVERAGE	ADDITIONAL LOT COVERAGE	BUILDING HEIGHT
30% MAX	AN ADDITIONAL 10% LOT COVERAGE SHALL BE PERMITTED, WHERE THE PROPOSED DEVELOPMENT PROVIDE SUFFICIENT AMENITY TO MEET THE MINIMUM REQUIRED POINTS FOR ONE OF THE AVAILABLE AMENITY CATEGORIES OUTLINED IN SCHEDULE D OF THIS BYLAW.		18 m MAX

PROVIDES 21.6%

6.1 REQUIRED NUMBER OF LOADING SPACES

REQUIRED	TOTAL GROSS FLOOR AREA OF BUILDINGS	SPACES
PROVIDES	23,427 m <sup>2</sup> (24,453 m <sup>2</sup> )	4

7.3 REQUIRED NUMBER OF OFF-STREET PARKING SPACES

REQUIRED	MANUFACTURING AND INDUSTRIAL USES	SPACES PER 200 m <sup>2</sup> OF 'A' & 'B'
PROVIDES	3	3 (INCLUDING 1 ACCESSIBLE PARKING SPACES)

\*PROCESS TUNNELS NOT INCLUDE IN GFA FOR PARKING CALCULATION.

7.5 ACCESSIBLE PARKING

PROVIDES 0 FOR 21,110 PARKING SPACES REQUIRED

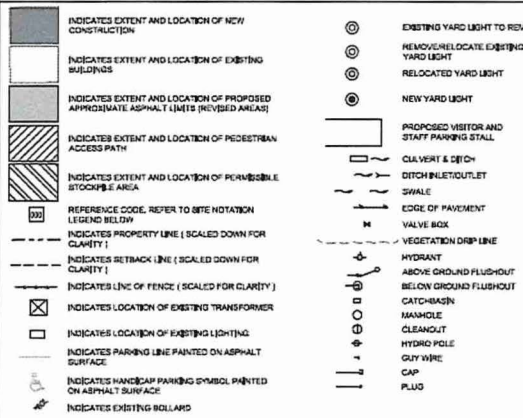
7.6 BICYCLE PARKING

PROVIDES 0 (SHORT TERM SPACES) LONG TERM SPACES 63 FOR 100 m<sup>2</sup> OF 'A' & 'B'

PROVIDES 0 (INSIDE - ADJACENT TO EXISTING OFFICE AREA)

NOTES:  
 1. WASTE AND RECYCLE BINS ARE HOUSED INSIDE THE EXISTING PROCESSING BUILDING  
 2. OFFICE AND GARBAGE RECYCLING IS DONE BY A PRIVATE COMPANY

Site Plan - Symbol Legend



Site Plan - Notations

1	2862 PERIMETER FENCE 12' CHAIN SYSTEM, OR APPROVED EQUIVALENT	24	EXISTING TO BE REMOVED
2	ASPHALTED AREA	25	RELOCATED/REMOVED EXISTING SITE ELEMENT
3	PEDESTRIAN ACCESS PATH - PAINTED LINES ON ASPHALT	26	EXISTING BLOCK WALL
4	PROPOSED BICYCLE ENCLOSURE (2.0m x 10.0m x 2.0m)	27	LOCATION OF EXISTING LIGHTING ON BUILDING
5	PROPOSED ROOF TOP AND AIR DUCT TO BE DESIGN AND CONSTRUCTED BY OTHERS	28	LOCATION OF PROPOSED NEW LIGHTING ON BUILDING
6	PROPOSED CATCH BASIN W/WHOLE	29	PROPOSED CONCRETE SLAB
7	PROPOSED BICYCLE DUCT SUPPORTS	30	NEW SIGN INCLUDING OFFICE ENTRY
8	PROPOSED EQUIPMENT - PROTECTIVE ENCLOSURE (2.0m WIDE X 6.1m LONG X 2.0m HIGH)	31	ELECTRICAL & CONTROLS ENCLOSURE
9	PROPOSED BICYCLE DUCT ABOVE	32	BICYCLE PARKING (MAIN OFFICE)
10	EXISTING FIRE DEPARTMENT CONNECTION (SIAMASE) TRENCH TO BE CAPPED JUST PRIOR TO PROPOSED COMPOSTING TUNNEL DOOR WITH CONCRETE. EXISTING TRENCH AND UNDERGROUND PIPING TO REMAIN NORTH OF PROPOSED COMPOSTING TUNNELS (TYP)	33	NEW LOCATION OF ENTRANCE RETAINING WALL (1.5 TO 2.0m HIGH)
11	PROPOSED BUILDING EXTENSION	34	EXISTING PRECAST CONCRETE BLOCK RETAINING WALL (HEIGHT VARIAS)
12	PROPOSED LEACHATE TANK	35	EXISTING LOCKER/LOCK RETAINING WALL (0.6m HIGH)
13	EXISTING TO BE RELOCATED	36	REFER TO LANDSCAPE PLAN & DETAILS
14	RELOCATED PRECAST CONCRETE BLOCK WALL (0.6m H)	37	PROPOSED YARD LIGHT
15	PROPOSED GRANULAR SURFACE	38	NEW GATE W/KEY LOCK FOR FIRE ACCESS
16	PERMISSIBLE STOCKPILE AREA	39	RED STOCK LIGHT FOR FIRE RELATED EMERGENCIES CONNECTED TO THE FIRE PANEL
17	EXISTING FABRIC DOVE STRUCTURES - MATURATION BAYS	40	NEW DOOR AND REPEATER FIRE PANEL ROOM - PERMISSIBLE FIRE ACCESS ENTRANCE
18	PEDESTRIAN/WEBER CONNECTION TO OFFICE	41	NEW LOCATION OF THE CONCRETE CURB
19	EXISTING TO REMAIN		
20	EXISTING GATE		
21	EXISTING DRAINAGE DRAVE		
22	EXISTING TRANSFORMER		

Site Plan - General Notes

- REFER TO SITE SURVEYING & CIVIL DRAWINGS FOR DETAILED REQUIREMENTS
- FOR DETAILED LANDSCAPE ITEMS REFER TO LANDSCAPE PLANS FOR EXISTING TREES, PROPOSED TREES AND OTHER LANDSCAPE RELATED ITEMS
- REFER TO LANDSCAPE PLANS FOR OUTDOOR STAFF AMENITY AREA AND PEDESTRIAN LINGS
- ALL EXISTING FINISHING TO BE REMAINED UNLESS OTHERWISE INDICATED



SITE PLAN  
 NANAIMO ORGANIC WASTE FACILITIES UPGRADE  
 981 MAUGHAN ROAD, NANAIMO, BRITISH COLUMBIA, V9X 1J2  
 Waste Treatment Technologies



NOT FOR CONSTRUCTION

This study represents professional design, but does not constitute a guarantee or warranty of any kind. It is intended for the use of the client only. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The client is responsible for ensuring that the design is suitable for the intended use and that all necessary safety measures are in place.

REVISIONS	DATE
DP SUBMISSION	2022-04-15
DP REVIEW 01	2022-04-24
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-	-
-	-

SCALE AS NOTED  
 DATE 2022-04-15  
 DRAWN BY PK  
 CHECKED BY AN  
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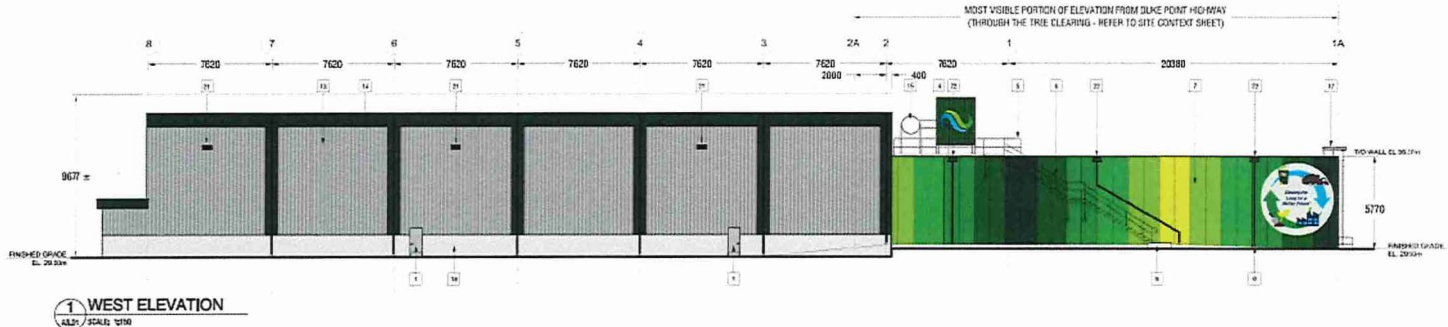
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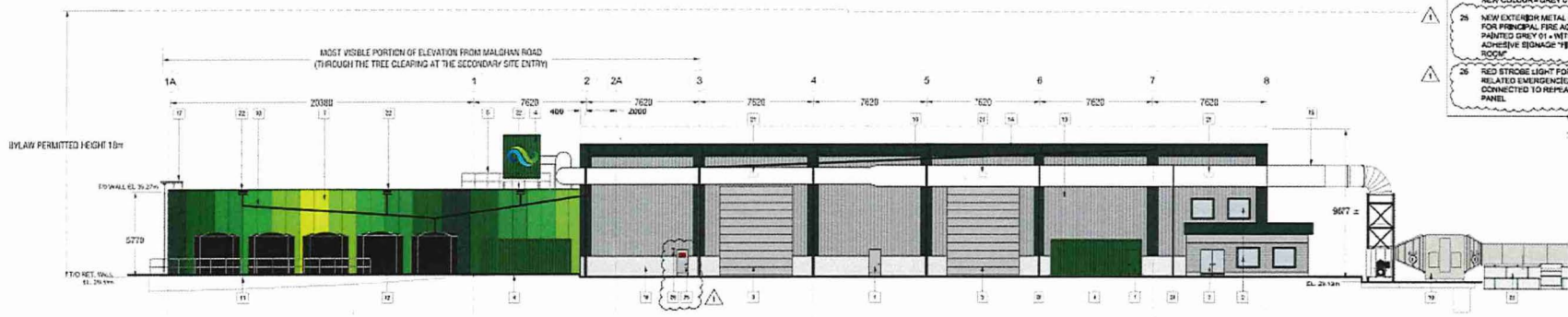
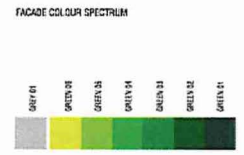
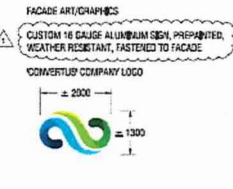
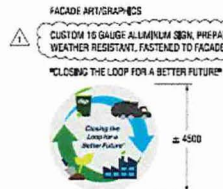


**BUILDING ELEVATIONS**  
**NANAIMO ORGANIC WASTE FACILITIES UPGRADE**  
 981 MAUGHAN ROAD, NANAIMO, BRITISH COLUMBIA, V9X 1J2  
 Waste Treatment Technologies

- Elevation Code Legend**
- 1 EXISTING EXTENSION DOOR  
NEW COLOUR - GREY 01
  - 2 EXISTING EXTENSION GLASS  
WINDOWS & DOORS
  - 3 EXISTING OVERHEAD DOOR  
NEW COLOUR - GREY 02
  - 4 METAL PROTECTIVE  
ENCLOSURES FOR EQUIPMENT  
NEW COLOUR - GREEN 01/02/03
  - 5 GALV. GAIRD RA.F.
  - 6 GALV. STEEL MAINTENANCE  
ACCESS STAIR AND RAMPWALK
  - 7 PRECAST CONCRETE INSULATED  
PANEL
  - (PAINTED STRIPE WIDTH TO BE  
FINALIZED BASED ON THE  
SELECTED SIZE OF THE  
PRECAST PANEL - VERTICAL  
STRIPE DESIGN INTENT TO  
REMAIN CONSISTENT WITH THIS  
PROPOSAL)
  - NEW COLOURS - GREEN 01,  
GREEN 02, GREEN 03, GREEN 04,  
GREEN 05, GREEN 06
  - 8 CONCRETE STAIR PAD
  - 9 DOWNPOUT + PRECAST  
CONCRETE STAIR PAD
  - 10 SCRUBBER DRAIN PIPING  
NEW COLOUR - BLACK 01
  - 11 CONC. RETAINING WALL  
(MAX 1.2 HIGH)
  - 12 W/PROCESS WATER STORAGE  
TANKS  
NEW COLOUR - BLACK 01 OR  
GREY/WHITE  
(TBD BASE ON RESIN COLOUR  
AVAILABLE)
  - 13 EXISTING METAL CLADDING -  
VERTICAL APPLICATION  
NEW COLOUR - GREY 01
  - 14 EXISTING METAL CLADDING -  
HORIZONTAL APPLICATION  
EXISTING COLOUR - GREEN 01
  - 15 DUCT WORK CIV. SUPPORTS  
STANDARD - NOT PAINTED
  - 16 EXISTING STRUCTURE
  - 17 OVERHEAD DOOR RA.F. VOLANTS
  - 18 EXISTING CONCRETE BASE
  - 19 SCRUBBER EQUIPMENT  
NEW COLOUR - GREY HAZ/032
  - 20 DUCT WORK FRAMING  
NEW COLOUR - BLACK CIV/04V,  
STEEL  
(TBD UPON AVAILABILITY  
FROM MANUFACTURER)
  - 21 EXISTING FACADE LIGHTING
  - 22 PROPOSED LIGHTING
  - 23 LOCK/LOCK BIO FILTER  
ENCLOSURE
  - 24 INSULATED METAL PANEL WALL  
NEW COLOUR - GREY 01
  - 25 NEW EXTENSION METAL DOOR  
FOR PRINCIPAL FIRE ACCESS  
PAINTED GREY 01 + WITH 3M  
ADHESIVE SIGNAGE "FIRE PANEL  
DOOR"
  - 26 RED STROBE LIGHT FOR FIRE  
RELATED EMERGENCIES -  
CONNECTED TO REPEATER FIRE  
PANEL



1 WEST ELEVATION  
 1/8" = 1' SCALE 1/8" = 1'



2 EAST ELEVATION  
 1/8" = 1' SCALE 1/8" = 1'

**NOT FOR CONSTRUCTION**

This drawing is a preliminary design and is not to be used for construction. It is intended for informational purposes only. The design is subject to change without notice. The client is responsible for obtaining all necessary permits and approvals. The design is not to be used for any other purpose without the written consent of the architect.

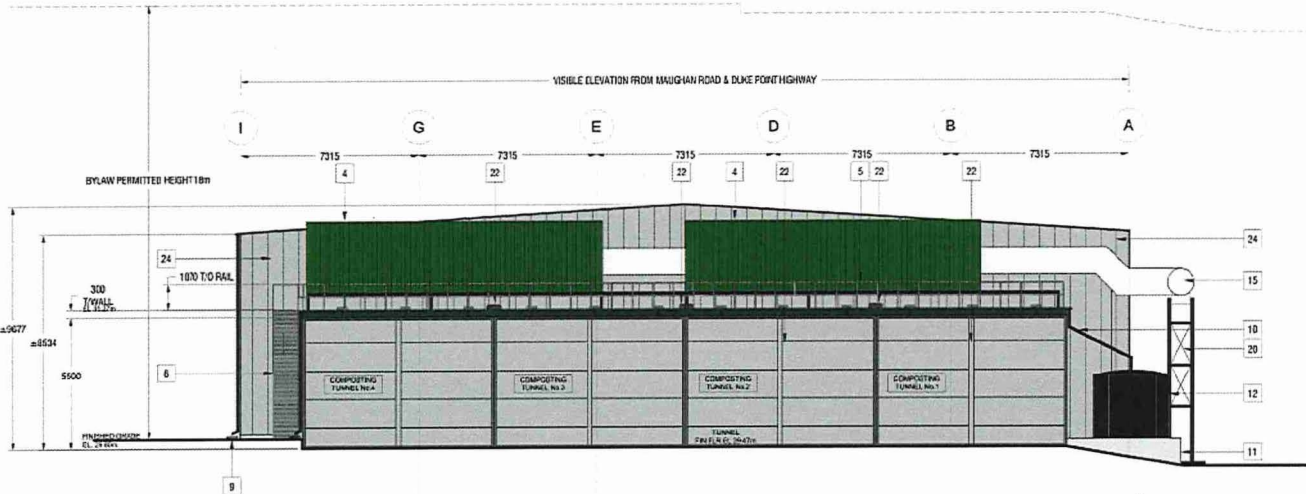
REVISIONS	DATE
DP SUBMISSION	2020-04-16
DP REVIEW 01	2020-07-24
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SCALE AS NOTED  
 DATE 2020-07-24  
 DRAWN BY PK  
 CHECKED BY AJT

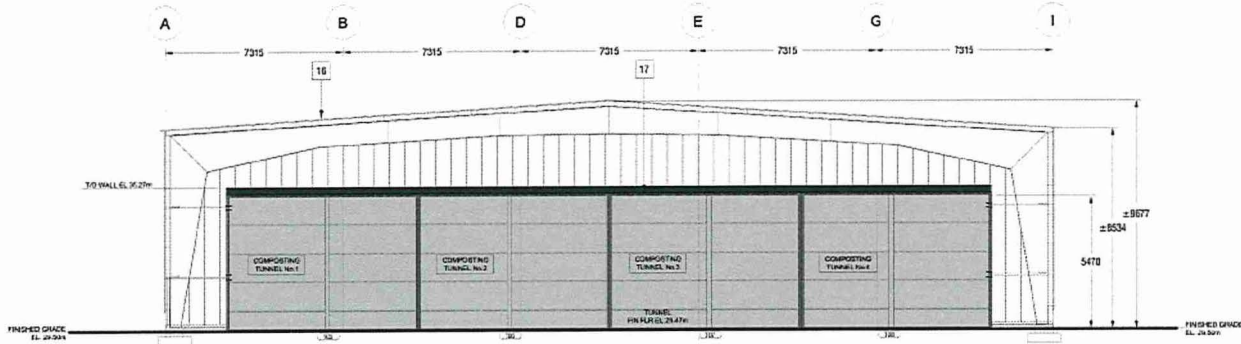
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 2020-JUL-24  
 Current Planning

A3.01






2 SOUTH ELEVATION  
AS IS / SCALE 1/8" = 1'-0"



1 EXISTING BUILDING SECTION/ NORTH ELEVATION OF NEW TUNNELS EXPANSION  
AS IS / SCALE 1/8" = 1'-0"

Elevation Code Legend	
1	EXISTING EXTERIOR DOOR NEW COLOUR - GREY 01
2	EXISTING EXTERIOR GLASS WINDOWS & DOORS
3	EXISTING OVERHEAD DOOR NEW COLOUR - GREY 02
4	METAL PROTECTIVE ENCLOSURES FOR EQUIPMENT NEW COLOUR - GREEN HAZE05
5	CALV GALVED RAIL
6	CALV STEEL MAINTENANCE ACCESS STAIR AND HANDRAIL
7	PRECAST CONCRETE INSULATED PANEL
(PAINTED STRIPE WIDTH TO BE FINALIZED BASED ON THE SELECTED SIZE OF THE PRECAST PANEL - VERTICAL STRIPE DESIGN INTENT TO REMAIN CONSISTENT WITH THE PROPOSAL)	
NEW COLOURS - GREEN 01, GREEN 02, GREEN 03, GREEN 04, GREEN 05, GREEN 06	
8	CONCRETE STAIR PAD
9	DOWNPOUT - PRECAST CONCRETE SPLASH PAD
10	SQUIPPER DRAIN PIPING NEW COLOUR - BLACK 01
11	CONC. RETAINING WALL (MAX 1.5 HIGH)
12	SPROCESS WATER STORAGE TANKS NEW COLOUR - BLACK 01 OR GREY/WHITE (TSD BASE ON FEIN COLOUR AVAILABLE)
13	EXISTING METAL CLADDING - VERTICAL APPLICATION NEW COLOUR - GREY 01
14	EXISTING METAL CLADDING - HORIZONTAL APPLICATION EXISTING COLOUR - GREEN 01
15	DUCT WORK CAN SUPPORTS STANDARD - NOT PAINTED
16	EXISTING STRUCTURE
17	OVERHEAD DOOR RAIL MOUNTS
18	EXISTING CONCRETE BASE
19	SCHUBER EQUIPMENT NEW COLOUR - GREY RAL7032
20	DUCT WORK FRAMING NEW COLOUR - BLACK 01 GALV. STEEL (TSD UPON AVAILABILITY FROM MANUFACTURER)
21	EXISTING FACADE LIGHTING
22	PROPOSED LIGHTING
23	LOOK BLOCK/O FILTER ENCLOSURE
24	INSULATED METAL PANEL WALL NEW COLOUR - GREY 01



Waste Treatment Technologies Inc.  
1000 West Beaver Creek Road, Richmond, BC V6X 3K9  
Tel: 604-273-8888  
www.wttech.com

BUILDING ELEVATIONS & SECTION

NANAIMO ORGANIC WASTE FACILITIES UPGRADE

981 MAUGHAN ROAD, NANAIMO, BRITISH COLUMBIA, V9X 1J2

Waste Treatment Technologies

21008

NOT FOR CONSTRUCTION

This drawing is preliminary and subject to change without notice. Do not rely on this drawing.

Note: All dimensions, including wall and floor, and opening dimensions are to the face of the work unless otherwise specified. Dimensions are to be used as a guide only and do not constitute a contract. The contractor shall be responsible for verifying all dimensions and conditions of work, and shall be liable for any errors.

All drawings are the property of the architect. They shall remain the property of the architect. These drawings may not be reproduced or used for any other purpose without the written consent of the architect.

REVISION	DATE
1	DP SUBMISSION
2	
3	
4	

SCALE	AS NOTED
DATE	18-May-2020
DRAWN BY	PK
CHECKED BY	AW

DRAWING NO.

A3.02

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DP1194  
2020-JUL-24  
CITY OF NANAIMO

LANDSCAPE PLAN AND DETAILS

WTT NANAIMO FACILITY | LANDSCAPE DESIGN



Legend

- 1. Facility Main Entrance
- 2. Principal Fire Entrance
- 3. Lock-Block Feature Entrance Wall
- 4. New Planting Area
- 5. Employee Area

- 6. Existing Fence
- 7. Property Line
- 8. Existing Boulevard
- 9. Pedestrian Path

- Painted Asphalt Surface
- Planting Bed

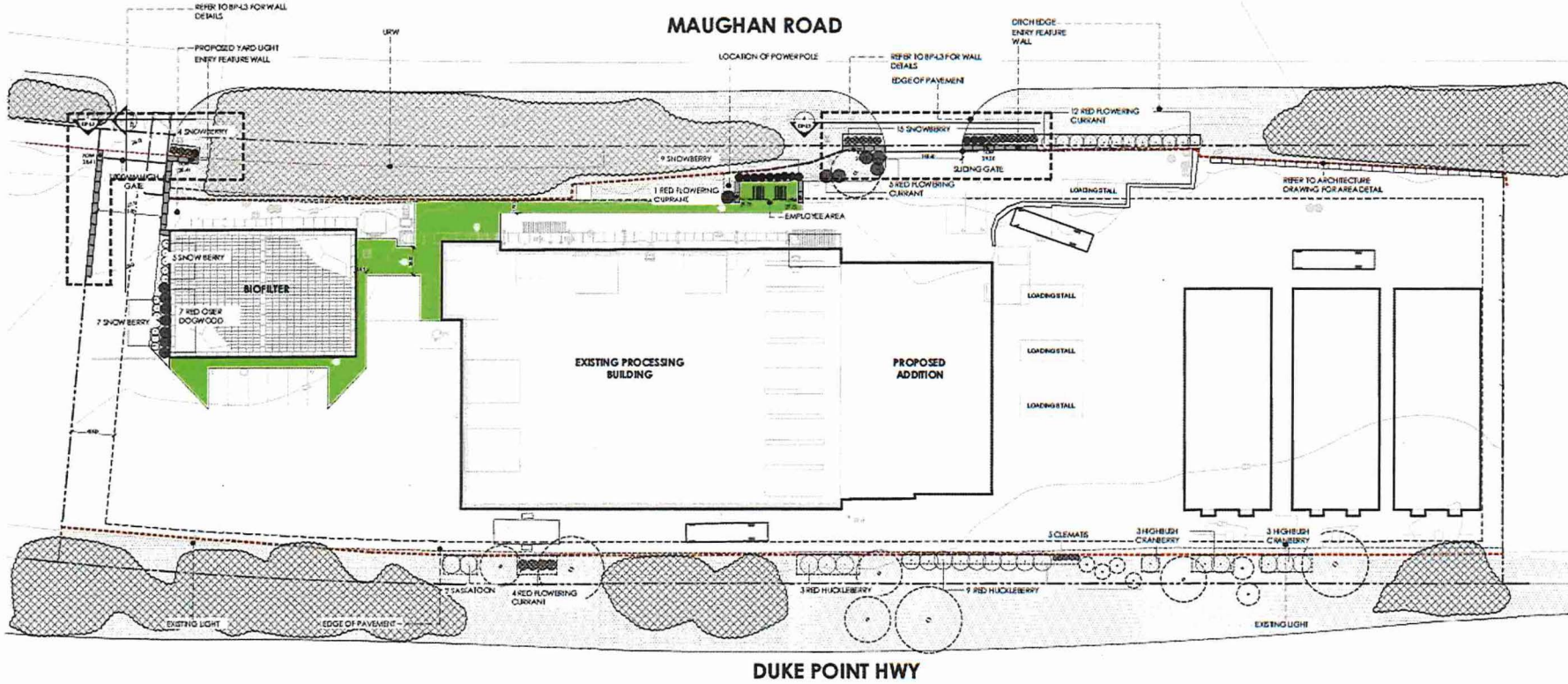
- Proposed Tree
- Proposed Shrubs



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2020-JUL-24  
CURRENT PLANNING

DP-L1 | JULY 23, 2020





**NOTES**

1. THIS DRAWING HAS BEEN PREPARED FOR DEVELOPMENT PERMIT PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
2. ALL PLANT MATERIAL TO CONFIRM TO THE CANADIAN NURSERY TRADES ASSOCIATION'S STANDARD.
3. ALL PLANT MATERIAL SIZES SHOWN ARE MINIMUM SIZES.
4. VERIFY ALL DIMENSIONS, ELEVATIONS AND DATA REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE OWNER PRIOR TO CONSTRUCTION.
5. DO NOT SCALE DRAWING.
6. ALL PLANTING BEDS TO HAVE A MINIMUM OF 75MM DEPTH WOOD CHIP MULCH UNLESS OTHERWISE NOTED.
7. ALL OFF-SITE VEGETATION AREAS TO BE REVEGETATED WITH WEARING TRUCK LANE ESTABLISHMENT.
8. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.

**LEGEND**

- PAVED ASPHALT SURFACE
- PLANTING BED WITH WOOD CHIP MULCH
- EXISTING BOULEVARD
- EXISTING TREES TO REMAIN
- EXISTING VEGETATION TO REMAIN
- VINE
- DECIDUOUS SHRUBS
- PICNIC TABLE
- LANDSCAPE EDGER
- EXISTING 1800MM HIGH CHAIN LINK FENCE
- LOCK-BLOCK RETAINING WALL
- EXISTING GRADE
- PROPOSED GRADE

**LANDSCAPE ANALYSIS**

TOTAL SHRUB PROVIDED = 25  
TOTAL VINE PROVIDED = 3

**PLANTING SCHEDULE (ENTIRE SITE)**

common name	latin name	dbh / spread	quantity
OROSMOUT THUISZ			
SASKATOON	ALNIBLANCHER ALNIPOLCA	#2 POT	02
RED OGER DOGWOOD	CORNUS STOLONIFERA	#2 POT	07
RED FLOWERING CURRANT	RIBES SANGUINUM	#2 POT	22
SHOWBERRY	SPHOPHORCARPOS ALBUS	#2 POT	40
RED HUCKLEBERRY	VACCINIUM PAPPARY FLORUM	#2 POT	12
HIGHBUSH CRANBERRY	VEIBANUM OIDE	#2 POT	06
VINE			
CLEMATIS	CLEMATIS SP.	#2 POT	06

**NAVAGRAH**  
LANDSCAPE ARCHITECTURE + URBAN DESIGN  
1.4.1231.0711 | 784 YALOWATERRA VICTORIA BC | 250.683.8124

**WTT NANAIMO FACILITY**

19153.WTIN

SEAL

CLIENT FOR	DATE
CLIENT REVIEW	2004/3
DP SUBMISSION	2004/16
BUILDING PERMIT	2005/4
DP SUBMISSION	2007/3

SCALE 1:300  
DATE 2023/02  
DRAWN BY CC  
CHECKED BY YN

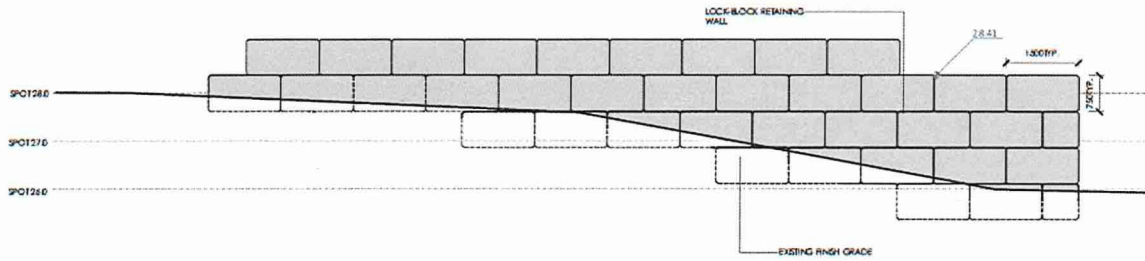
THE DRAWING SUPPLEMENTED BY VISUALS. DO NOT SCALE THE DRAWING.  
ALL LANDSCAPE ELEMENTS AND PLANTINGS SHOWN ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DRAWING IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.

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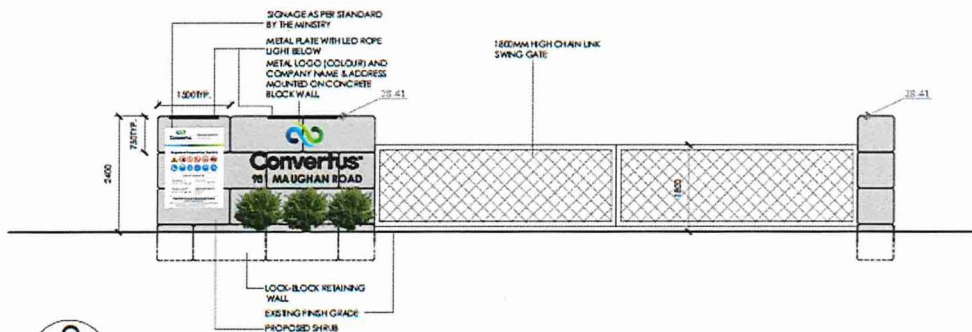
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2023-JUL-24  
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DP-L2 LAYOUT PLAN - KEY PLAN





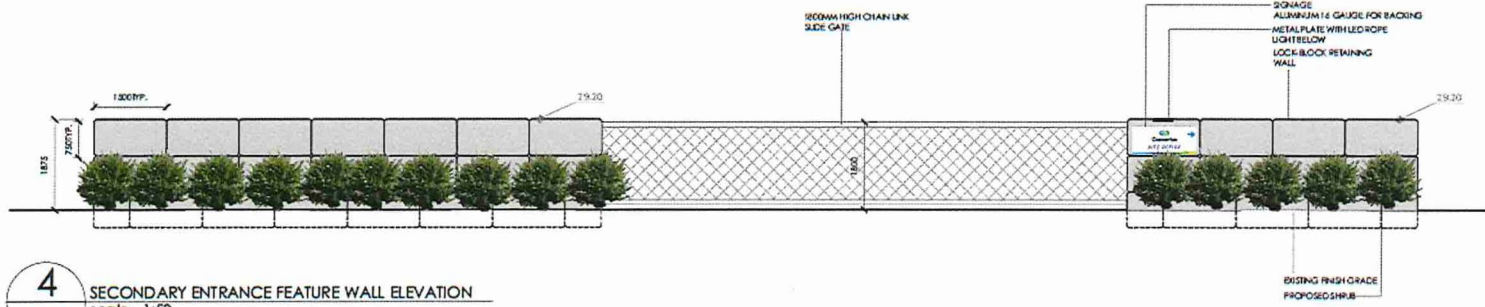
**1** WALL ELEVATION - NORTH SIDE (AT NORTH MAIN ENTRANCE)  
 CONSTRUCT SIMILAR FOR SOUTH SIDE MAIN ENTRANCE  
 scale - 1:50  
 DP-L3



**2** MAIN ENTRANCE FEATURE WALL ELEVATION  
 scale - 1:25  
 DP-L3



**3** SIGNAGE DETAIL  
 scale - 1:25  
 DP-L3



**4** SECONDARY ENTRANCE FEATURE WALL ELEVATION  
 scale - 1:50  
 DP-L3

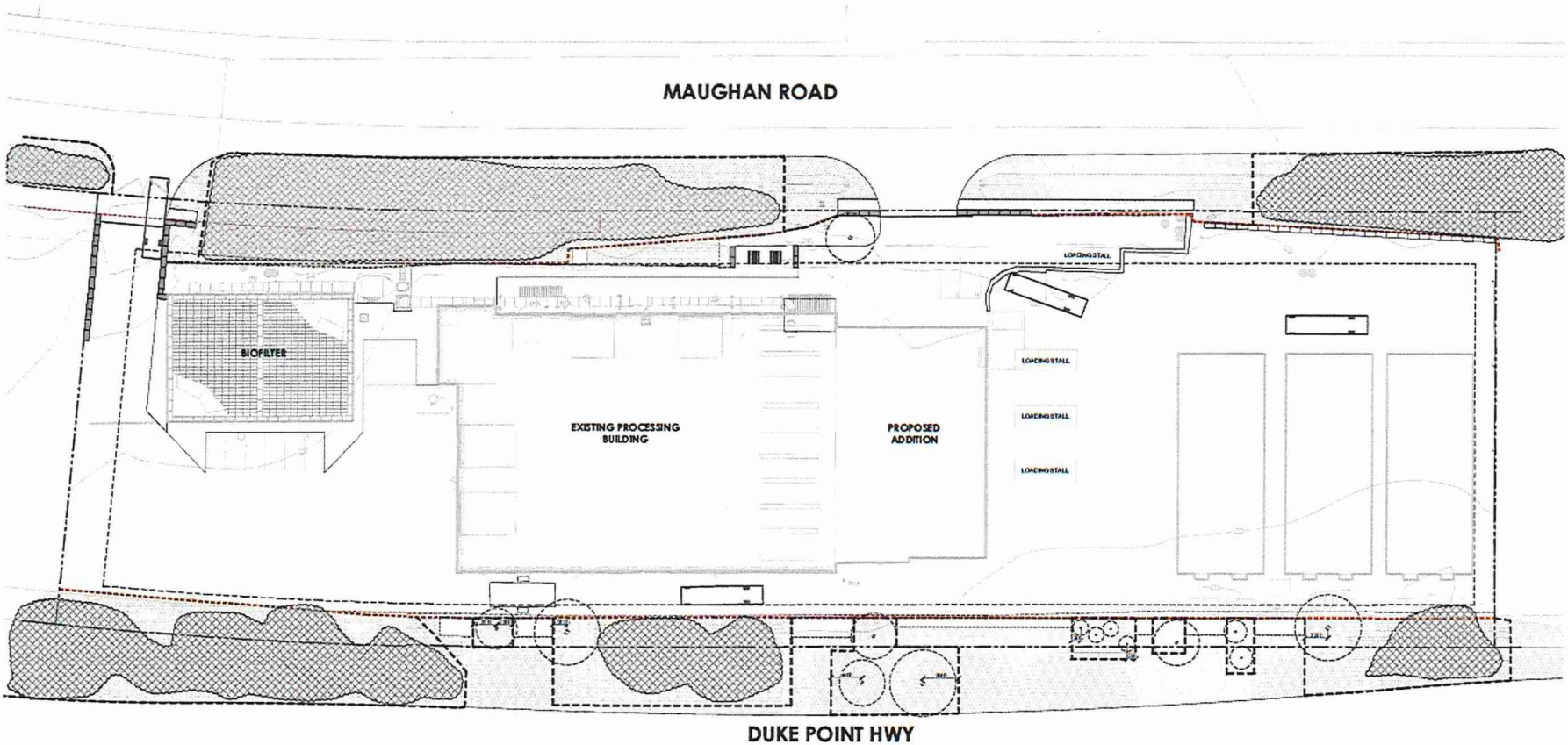
191.53.WTIN  
**WTT NANAIMO FACILITY**

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<p>SCALE FOR                  DP SUBMISSION 200414                  BUILDING PERMIT 200904                  DP SUBMISSION 200773</p>	<p>DATE                  200414                  200904                  200773</p>
<p>THE DRAWING SUPERSEDES ALL PREVIOUS EDITIONS. DO NOT SCALE THE DRAWING.                  ALL DIMENSIONS AND FINISHES SHOWN ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT. THE DRAWING IS TO BE REPRODUCED WITHOUT THE PERMISSION OF THE LANDSCAPE ARCHITECT.</p>	
<p>SCALE 1:50                  DATE 200302                  DRAWN BY CC                  CHECKED BY YN</p>	
<p><b>DP-L3</b> DETAIL</p>	

RECEIVED  
 DP 1194  
 2020-JUL-24  
 CIVIL ENGINEERING

File Location: V:\Project\191.53.WTIN - WTT Nanaimo Facility\Curren\191.53.WTIN\_Site Landscape Plan\_200723.dwg Plotfile: July 23, 2020 1:53:52 PM by Chen Chen



**NOTES**

1. THIS DRAWING HAS BEEN PREPARED FOR DEVELOPMENT PERMIT PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
2. ALL PLANT MATERIAL TO CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION'S STANDARDS.
3. ALL PLANT MATERIAL SIZES SHOWN ARE MINIMUMS.
4. VERIFY ALL DIMENSIONS, ELEVATIONS AND DATA. REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE OWNER PRIOR TO CONSTRUCTION.
5. DO NOT SCALE DRAWINGS.
6. ALL PLANTING BEGS TO HAVE A MINIMUM OF 75MM DPTH WOOD CHIP MULCH UNLESS OTHERWISE NOTED.
7. ALL SOFT SURFACE LANDSCAPE AREAS TO BE IRRIGATED WITH WALKING TRUCK UNTIL ESTABLISHED.
8. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.

**LEGEND**



**TREE PLANTING DETAILS**

TRUNK DIAMETER (mm)	EXTENDED PROTECTION (mm)	MINIMUM GUARANTEE (mm)	MINIMUM PROTECTION (mm)
50	1000	1000	1000
75	1500	1500	1500
100	2000	2000	2000
125	2500	2500	2500
150	3000	3000	3000
175	3500	3500	3500
200	4000	4000	4000
225	4500	4500	4500
250	5000	5000	5000

A TREE REMOVAL PERMIT IS TO BE OBTAINED FROM CITY OF NANAIMO - URBAN FORESTRY, IF ANY TREES IDENTIFIED HEREWITH FOR PROTECTION ARE IN NEED OF REMOVAL DURING CONSTRUCTION.

191 SWMTN  
**WTT NANAIMO FACILITY**

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SCALE: 1:300

DATE: 200302

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**DP-L4 TREE MANAGEMENT PLAN**

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